

INFOGOLD (PTY) LTD – BUFFELSPOORT ECO-PARK

ARCHITECTURAL SPECIFICATIONS AND GUIDELINES

1. DEFINITIONS

1.1 Developer - Owner of a property who undertakes to develop a registered township and will sell stands to Purchasers.

Residential Architect - Agent of the Developer who is the professional person to approve all documentation at the request of the Developer.

1.2 Owners Architect - Registered member of a recognized Institute and who is appointed by a member of the Home Owners Association.

1.3 Designer - A registered member of an Institute of Draughtsman appointed by a member of the Home Owners Association.

1.4 Clerk of Works - Inspector of works who shall be empowered by the Developer to inspect the work of a Builder or Contractor. He is an agent of the Developer and shall report directly to the Developer any damages to the Township infrastructure. The Clerk of Works shall not be held responsible for inferior work executed by the Owners Builder.

1.5 The Owner - Registered Owner of a property with in the Township and a member of the Home Owner Association.

1.6 Builder - (Contractor) An approved person or company appointed by an Owner and who qualifies to build as laid down in the requirements of the Home Owners Association and the Developer.

1.7 Home Owners Association - A constituted body elected in terms of the constitution and regulations of the Township.

2. DEVELOPMENT CONTROL - PURPOSE AND AIM

2.1. The general goal being a sensitively developed living environment under park like conditions that will enhance both good secure living and the appreciation of each individual **PROPERTY**. The content of this document is aimed at protecting the image, character and value of the development. The Developer, therefore reserves the right to request any changes to the design, finishing or implementation that may be needed in their opinion to preserve the style, character and quality of the Estate.

2.2 Only buildings designed according to the proposed vernacular may be erected in the development. The internal design and character of homes are not restricted.

2.3 The design criteria set out herein are in addition to the Municipal Building regulations. The Developer reserves the right to alter or amend the design, as he may consider necessary to retain the architectural style and integrity of the Estate.

3. DEVELOPMENT VERNACULAR

3.1 The special character and natural beauty of the site is an enormous asset for the development. In formulating the development guidelines it is therefore important to consider as a point of departure the protection and enhancement of this unique natural character.

3.2 Based on this approach it will be essential to protect existing indigenous trees, and in particular those beyond 150mm diameter. The addition of other indigenous trees will over time reinforce the development as a haven for indigenous fauna and flora.

3.3 With regards to building materials, the natural setting is to inform the use and colour of proposed materials to ensure overall integration.

4. APPROVAL OF PLANS

4.1 No building may be erected or altered without approval by the Developer.

4.2 The Owner shall formally apply for approval of plans as stipulated in the section: "Procedure for

approval of Plans”.

4.3 Should any provision of the Architectural Specifications and Guidelines be regarded as contrary to the National Building Regulations, Council by-laws or any other law or statutes, then the National Building Regulations, laws and by-laws shall prevail.

4.4 Notwithstanding approval granted, no building shall be erected or altered, which contravenes any statutory regulations or zoning controls.

4.5 The Architect / or his representative must carry out site inspections when the foundation of the building are set out to verify the position of structures in accordance to the approved plan. The Owner is responsible to notify his Architect as to when the foundation setting out inspection shall take place (At least 5 days notice is required for this arrangement).

4.6 The Residential Architect / Developer or Clerk of Works may inspect the works at any stage during construction to ensure that the builder is complying to the approved plans.

5. TOWN PLANNING CONSTRAINTS

5.1 Density

One house per erf

5.2 Height

No building shall exceed two storeys in height above the ground level at any point, except for special concessions by the Developer. Please note that specific erfs have different height restrictions. Prior to commencing with the house design, the site specific height guidelines must be obtained for the purchased erf, from the Developer.

Views, vistas and privacy of all properties must be respected and will be taken into consideration during the approval process. Special concession will be given to the accommodation of garages that accommodates the slope as a platform to the building.

5.3 Coverage

Permitted coverage on the site is 50%, this is inclusive of any closed court yard. It is recommended to remain within 40% of the area of the stand for double storey houses.

5.4 Floor Area Ratio

Maximum area ration (bulk) that may be erected on a stand shall not exceed 50%. The minimum floor area on any property will be 200 square meters.

5.5 Building lines and access

Street front building lines: 3m

Back building lines: 2m

Side building lines for single storey: 2m

Side building lines for double storey: 3m

Where a double storey house is placed on a building line of three (3) meters overlooking the adjacent property and a window is placed in the wall facing the adjacent property the house will have to move back to a building line of 4.5m to ensure the privacy of the adjacent property, unless the room is non-habitable or the window has vinyl decoration.

No structure shall be permitted within the building lines.

The impact on sight lines to adjoining and existing properties must be addressed during the sketch plan phase.

Vehicular access to the site shall be allowed at one point only.

6. BUILDING CONSTRAINTS

6.1 Levels

In case of close proximity of buildings, the levels of adjoining buildings must be taken into consideration. During the approval process issues that will be evaluated will include, but not be limited to, items such as subsurface water and drainage impact, undermining of foundations and vehicular access.

6.2 Site walls

Due to the general goal of this development being that of a sensitively developed living environment under park like conditions, NO boundary walls will be permitted.

The only wall permitted on the erf will be that of the court yard screen wall and or a screen wall which may not exceed 5 meters on the remaining open area of the stand. If a site wall is necessary to ensure privacy, an application for relaxation on site walls may be submitted to the Developer. These walls should be aligned in such a way as to accommodate the trees.

It is important to note that only the court yard will be enclosed and not the entire stand.

No prefabricated walling systems, vibracrete, unplastered blocks or barbed wire fences will be allowed.

The owner must ensure that all storm water originating on his site is dealt with in a responsible manner. All gully traps to be sealed so as to prevent the ingress of storm water into the sewerage system.

6.3 Privacy

The design shall take cognizance of the possible impact on privacy and noise on all other properties.

Where a balcony or a higher than 1.2m high window is overlooking a neighbouring property, the building line would be 4.5m except if the neighbour's consent is obtained and submitted with the sketch plans

No staff accommodation must be nearer to the street than the main building unless contained under the same roof or integrated into the overall design.

All dwellings must have an enclosed court yard, enclosed by a wall, which will provide adequate screening from the neighbouring owners. The court yard wall is to be according to the detail provided and shall be a maximum height of 2m.

All outside toilets must have a screen wall if it is not enclosed within the court yard.

6.4 Excavations

The owner/contractor shall before trenching commences familiarize himself with the routes and site conditions

No trees, natural boulders or plants to be removed without prior approval of the Developer / Resident Architect.

Excavated material shall not be dumped closer than (one)1m from cable, water and sewerage trenches.

6.5 Landscaping

Only indigenous plant species will be permitted. Plants should be selected from a plants list, which is available from the Developer. Trees are to be carefully selected and position to minimize the obstruction of views of neighbouring owners. The height of trees is restricted to seven metres.

Care should be taken in the design to ensure that a sufficient visitor parking exists behind garages to avoid parking of vehicles inside the road reserve.

To ensure a consistent landscape image, particularly along the roads and semi private spaces facing the public domain, a landscape plan must be submitted for approval to the Developer. The service of an approved Landscape Architect is encouraged.

7. SITE USE

7.1 Caravans, Boats and Trailers

Caravans, boats and trailers may not be kept on public areas. If kept on private property is shall be kept in closed garages.

7.2 Laundry and Refuse

Laundry drying areas and refuse bin to be in enclosed court yard.

7.3 Temporary Structures

No temporary structures will be allowed, which includes, but is not restricted to, Wendy houses and pre-fabricated garden sheds.

7.4 Sidewalks, driveways and Services

Use of materials must complement existing materials and shall be submitted for approval.

Paving may not be painted.

A minimum of one light must be provided at the entrance of each property.

Soil and waste pipes are to be concealed within the walls unless located within enclosed courtyard.

7.5 Utilities

Television Sat-dishes must be fixed with due consideration to the view and sight lines of the other properties and be as inconspicuous as possible.

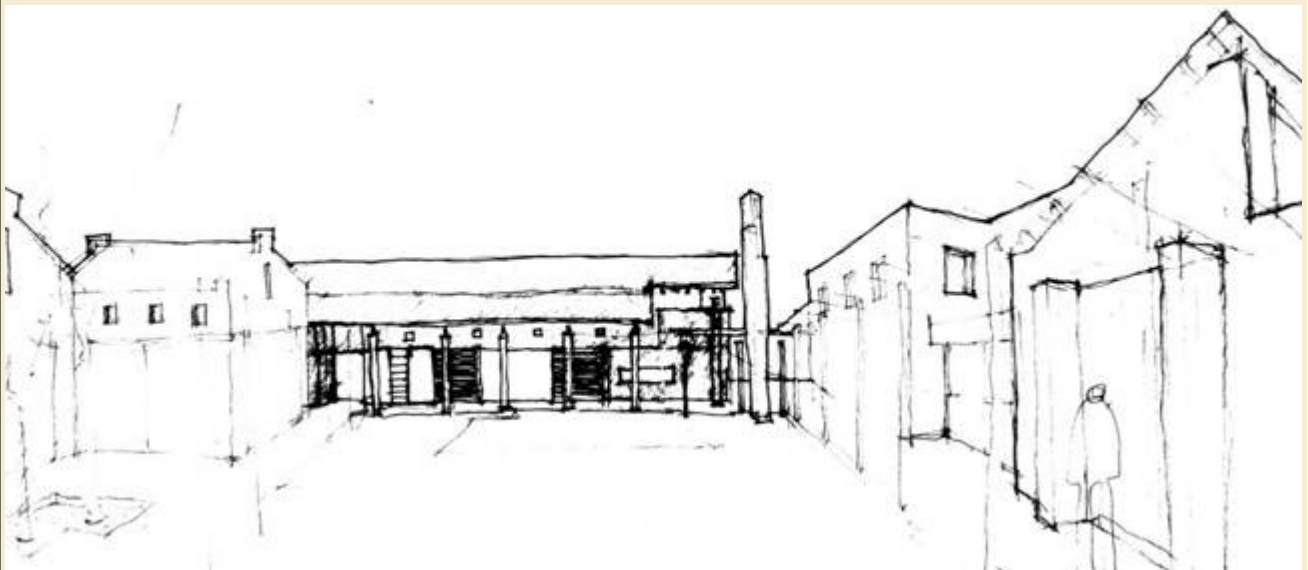
Solar panels to be flush with the roof and preferably mounted so as to be as inconspicuous as possible.

No radio masts of other communication towers may be erected in the estate.

No visible air-conditioning units will be permitted.

All utilities to be shown on Owners plans for approval by the Developer.

8. ARCHITECTURAL STYLE



Old Transvaal Style

The architectural style will be Old Transvaal Style which originated from people settling in the various regions of the Transvaal in the 1900's, were to a large extent dependant on local building materials. The land rich in building materials had a vast array of stone namely granite, marble, sandstone and slate.

The building materials used during this period were mostly bricks or stone. The plinths were built in exposed bricks or stone and the wall finishes were plaster and bagging, washed with soft pastel colours. The openings in the walls were usually given an arch due to the lack of steel reinforcing and often only shuttered.

The H -floor plan was associated with the ease of roof construction. The simpler the plan, the more straightforward the roof. With the high rainfall most vernacular buildings had pitched roofs. Saddle and hipped roofs were favoured with simple gables or parapet gabled wall-ends. Additions to houses were often lean-to's since roof spans were limited and complex pitched roof forms avoided.

The stoep was a popular component of Transvaal architecture. The simple patio on the front of the

house developed into a covered porch, extending to the sides and eventually round the entire house, becoming known as the verandah house. Verandahs had timber posts.

Once again, due to its vernacular suitability, it is encouraged that this Style be adapted to modern applications with emphasis on the simple details and the proportional relationship between the elements.

8.1 Roofs:

The only permitted roof tile is the Marley Modern profile concrete roof tile. A maximum roof pitch of 30° will be allowed with a minimum of 26°, the detail specified by Marley must be used. The tile colour to be used will be Terracotta Antique and be indicated on the sketch plans.

NO thatch roofs or steel sheeting will be allowed.

Gable ends should remain simple and may have louvers or flat panels to compliment the design theme. See sketches attached. Roof hips are discouraged, but will also be permitted under special circumstances. Total roof overhang should be restricted to a minimum of 300mm and a maximum of 600mm.



A maximum of 20% of the roof may be flat concrete roofs. If more than 20% is required, applications may be submitted to the Developer with the sketch plans. The entire flat roof and gutter must be enclosed by a parapet wall.

Gutters and down-pipes must be unobtrusive and as far as possible concealed. All exposed gutters must be in a complementary colour. All gutters and down pipes to have Chromadek finishing according to the approved colour scheme.

Verge edges to be kept simple if parapet gables are not used. Exposed trusses can be used on gable ends. See attached sketches.

Double truss ends are to be used along eaves.



8.2 Wall Finishes

External wall finishes:

Smooth plaster and vertical block-brush finish is the only allowed wall finish. Paint to be according to approved colour scheme. Bagging will not be allowed. The External Walls must have a minimum of 20% face brick.

Selected stock and approved facebricks may be used for construction, ie. Corngold Satin , Nebraska Tra. / FBS, Bergendal Blend, all bricks from Corobrick. Samples must be submitted for approval prior to construction.

8.3 Plinths

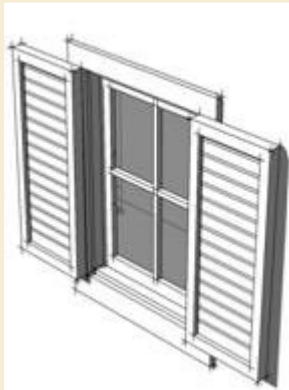
Plinths are permitted and must be of selected stock bricks mentioned above or natural stone.



8.4 Windows and Doors

Windows may be timbered or powder coated aluminium with a vertical proportion. No steel windows will be allowed.

Windows may be fitted with louvred shutters. Louvres can be either varnished, oiled or painted wood. Colours to be according to approved colour scheme. Shutters must be functional.



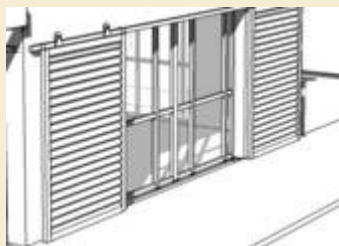
Plaster surrounds are permitted.

Window sills are to be quarry tiles and if exposed lintols are used, only concrete or wooden lintols may be used and they should be plastered and painted a different colour to the exterior wall surrounding the opening.

Due to the high level of security of the total development, the use of burglar bars is discouraged. If required, burglar bars will be permitted on the inside of windows only.

Doors shall be of traditional proportions for single or double doors and must be varnished, oiled or painted. Colours to be according to selected colours. Doors may also be fitted with shutters as described before, if required.

Top light windows are encouraged to allow for additional natural light.



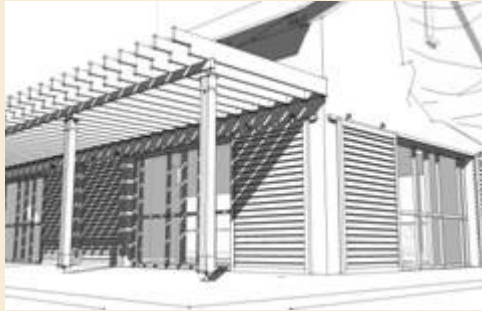
Garage doors must be sectional type doors as opposed to tip-up type doors. They must be of timber planking and no square or rectangular paneled doors will be permitted.

8.5 Pergolas, Canopies and Carports

Pergolas are permitted and encouraged. The pergola is to be strictly in accordance with the detail provided. It is encouraged that pergolas be covered with vines or other decorative creeper from the plant list. This vegetation must be maintained with a neat appearance.

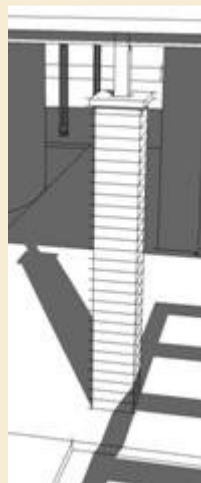
Formal approval is required for the erection of canopies and carports. Shade netting will not be allowed. This approval is obtained from the Developer.

All Awnings, if used must be concealed and submitted for approval.



8.6 Columns

Only timber or timber and steel composite columns and rectangular stone/facebrick columns will be permitted and the timber must be must be varnished, oiled or painted. NO round columns will be permitted.



8.7 Covered verandas and Lean-to roofs



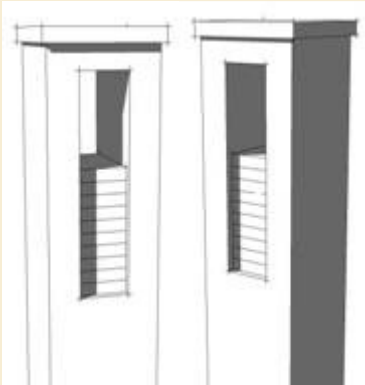
The only permitted roof tile is Marley Modern Profile concrete roof tile. Roof pitches are to be minimum of 26° and maximum: 30°. The roof must be constructed according to the Marley (Modern roof tile) detail. The tile colour to be used must be Terracotta Antique and be indicated on the sketch plans. For Columns see 8.6 Columns above.

Please note that decorative lattice work (Broekie lace) is not permitted. **No exceptions.**

8.8 Balustrades and Handrails

Balustrades to stay in keeping with the overall theme. Only timber or timber and steel composite uprights will be permitted and the timber must be varnished, oiled or painted. Balustrades to verandas and balconies must be approved by the Aesthetics Committee

8.8 Chimneys



Chimneys to be in keeping with the overall theme and are to have simple lines. All chimneys must be approved by the Developer

9. REHABILITATION AND PRESERVATION OF NATURAL HABITAT

9.1 Areas that are disturbed during the construction phase must be rehabilitated to the satisfaction of the Developer.

9.2 Construction workers must be made aware that toilet facilities will be provided and that this is the only facility to be used.

9.3 Chemical toilets shall be provided for building contractors by the Owner.

9.4 No hunting, killing or snaring of wild animals is allowed in the estate.

10. PROCEDURE FOR APPROVAL OF PLANS

The following procedure must be followed for the approval of plans prior to the commencement of construction.

10.1 Prior to the submission of formal plans, Owner must submit sketch drawings to the Developer for approval.

10.2 Sketch plans must be accompanied by a short description of the proposed works. The Owner must indicate how the works may affect properties and from which properties the works will be visible, and be approved by the Developer.

10.3 The Developer may either approve, subject to conditions, or reject the plans taking due cognizance of the character of the development.

10.4 After approval has been granted by the Developer, application must then be submitted to the Resident Architect, which drawings shall be in compliance with local authority requirements and must at least consist of the following:

10.4.1 site plan minimum scale 1:200;

10.4.2 plans of all levels minimum scale 1:100;

10.4.3 sections and elevations minimum scale 1:100;

10.4.4 door and window schedule;

10.4.5 drainage, sewer and storm water layouts;

10.4.6 construction details where necessary;

10.4.7 colour scheme;

10.4.8 details of external balustrading;

10.4.9 paving details.

10.5 Plans are to be submitted to the Local Authority for approval only after approval has been granted in writing as aforesaid.

10.6 Copy of local authority approval to be lodged with the Developer before commencement of any building activities.

11. RULES AND CONDUCT FOR BUILDING CONTRACTORS

11.1 General Rules

11.1.1 The conduct rules for all contractors are designed to ensure a well secured, neat and clean environment for residents. These rules will be strictly enforced by the Developer.

11.1.2 The Developer will make procedures available to contractors. These will include security measures for authorized access and identification of vehicles and personnel.

11.1.3 The contractor is responsible for the discipline of his labour, sub-contract labour and delivery personnel on site. Contractors are expected to conduct their operation in a reasonable and co-operative manner.

11.1.4 If the Developer is concerned about the conduct of the contractor, his sub-contractor or his suppliers and any of their employees, the Developer reserves the right to suspend building activity either indefinitely or until such undesirable conduct is rectified, which it may do so at any time and without notice, and without resource from the owner and / or the sub-contractor, and / or the supplier.

11.2 General Conduct

11.2.1 Hours of work and delivery are restricted to:

11.2.1.1 On weekdays from 7h00 in the morning until 18h00 in the evening;

11.2.1.2 No construction will be permitted on Sundays and public holidays.

11.2.2 No worker shall be allowed to overnight on the site.

11.2.3 Any vehicle in excess of 5 Tons may only enter the property under the supervision of the developers representative, to the appointed off loading zone.

11.2.4 Contractors shall only access through the gate, which is provided by the Developer.

11.2.5 Any contravention of the building conduct rules will lead to either a fine or a suspension of building work.

11.2.6 All labourers and contractors must be registered with the Developer. All labourers and contractors will be issued with a permit, which permits must be available at all times.

11.2.7 Labourers and contractors are not permitted to walk between the construction site and the entrance / exit gates. Any unauthorized person found walking around in the development site would be spot fined on the owner's account.

11.2.8 The owner will be held liable for any damages that are caused by the contractor, his employees, sub-contractors or delivery personnel. These damage include, but are not limited to, damage to kerbs, roads, plants and irrigation, and or damage to private property.

11.2.9 The contractor will collect his labourers on working days before they commence work at the development at a central collection point outside the boundaries of the development and will transport them to the site in a group to prevent labourer's from walking through the development. The contractor will follow a similar procedure in the afternoon when he will transport the labourers from the site to a central delivery point outside the boundaries of the development.

11.2.10 No concrete, dagha or cement may be temporarily stored, mixed or prepared outside the boundaries of the site unless prior written approval has been obtained from the Developer.

11.2.11 Toilets and changing facilities shall be suitably positioned and screened, kept hygienic and shall be chemical toilets. All small building items should be stored in approved site huts, which the contractor shall supply.

11.2.12 The contractor is responsible for the removal and cleaning up of any sand or rubble that may have been dropped, washed or moved onto the roads etc.

11.2.13 The contractor is to ensure that the roads are kept clean and tidy.

11.2.14 No rubbish may be burnt or buried on site.

11.2.15 No form of paper, cement bags, tile off cuts, ceiling boards, roof tiles, rubble, or the like is to be left lying around, and shall not be allowed to blow off the site.

11.2.16 Contractors shall limit noise and dust levels.

11.2.17 The certificate of completion by the architect will be issued on completion of all building works and if the site is entirely cleared of all rubble, materials and clean and verge reinstated, all to the satisfaction of the Developer.

12. FLOW CHECK LIST

In order to assist land Owner's with the procedures to be followed in the building of their home:-

12.1 After registration of your property, appoint the Architect or Designer who will prepare sketch plans and working drawings in terms of the conditions of the Home Owners Manual, and the Architectural Specifications and Guidelines.

12.2 Submit plans to the Developer's Resident Architect for approval. There will be a scrutiny fee payable.

12.3 Submit plans to the Rustenburg Municipality in terms of the National Building Regulations.

12.4 Obtain tenders from Builders approved by the Developer, but if not known to the Developer, they will be required to submit proof of experience and competency.

12.5 If your are applying for Bond Finance, submit your working drawings and tenders to the Bank.

12.6 After selecting your Builder, enter into a contract, and sign the Developer's Addendum which will form part of your contract with the Builder.

12.7 Proceed with construction, bearing in mind that it must be properly supervised by your Architect as well as the Clerk of Works for the Township as stipulated in the Addendum.

12.8 After completion of your dwelling and prior to occupation notify the resident architect for a final inspection to establish that the following has been met:

1. That the owner has complied with the Architectural Specifications and Guidelines.
2. That the owner has built as per approved plans of the resident architect.

Ref: Buffelspoort Eco Park Architectural Guidelines 26.2